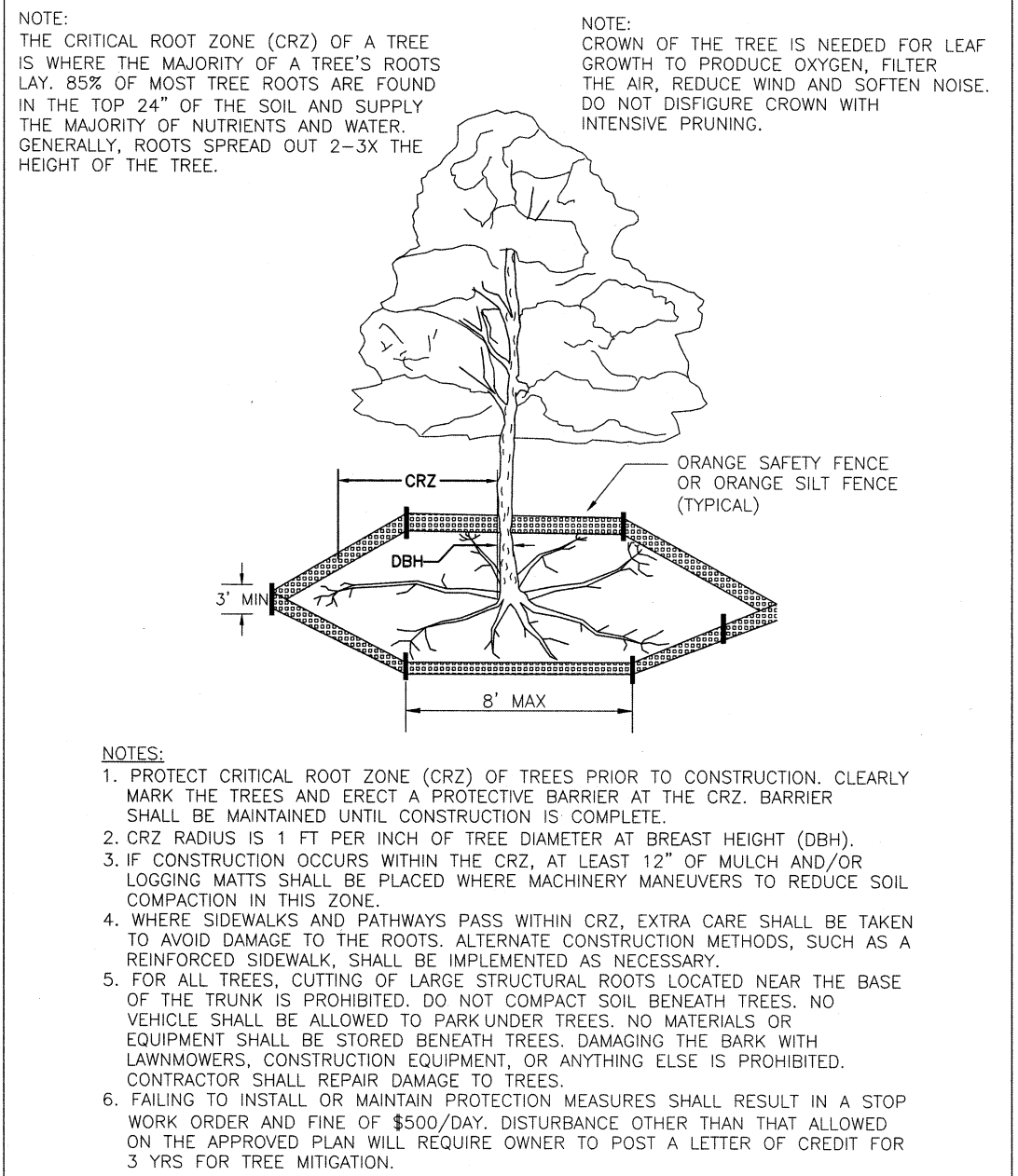
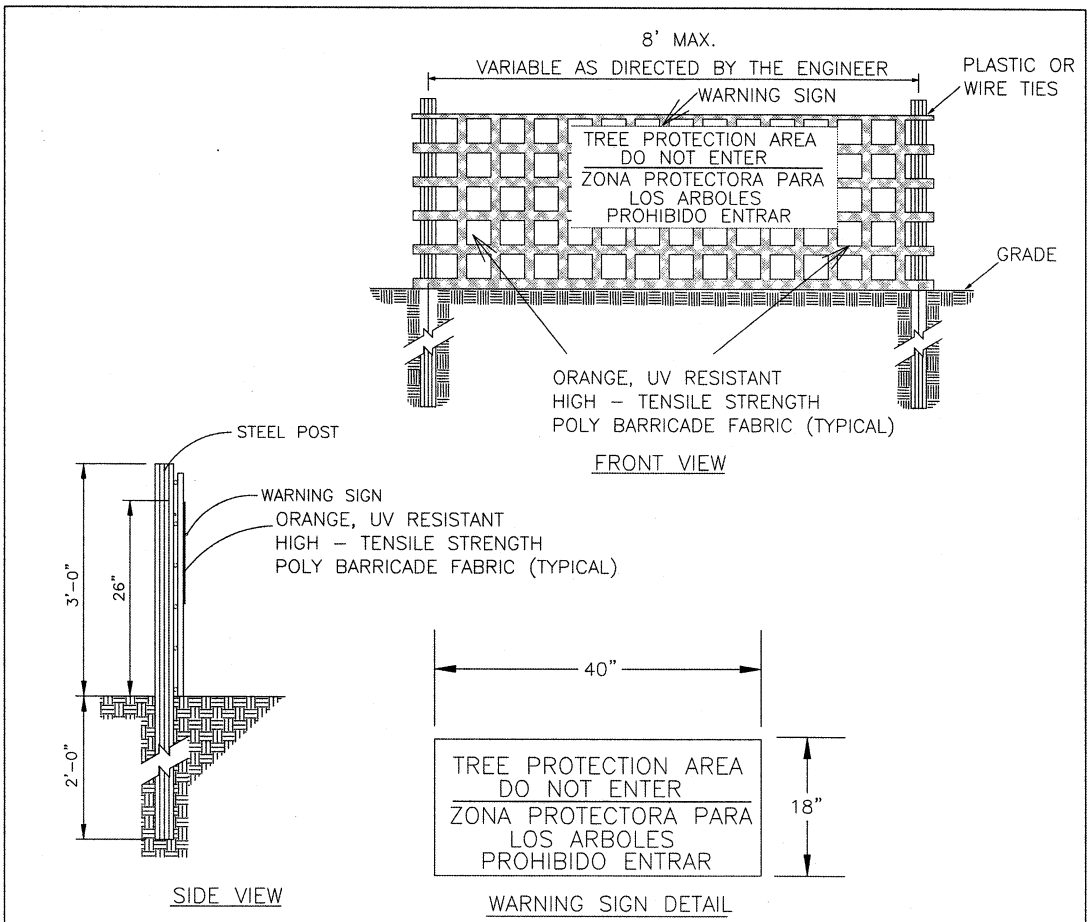


SITE DATA	
PARCEL ID:	R06500-007-024-000
CURRENT ZONING:	CB (COMMUNITY BUSINESS)
CAMA LAND USE CLASSIFICATION:	URBAN
PROJECT ADDRESS:	3530 CAROLINA BEACH RD. WILMINGTON, NC 28401
CURRENT OWNER:	ROUBINI M. OMIRLY 13 BARNARD DR WILMINGTON, NC 28405
TOTAL ACREAGE IN PROJECT BOUNDARY	90,312 S.F. (± 2.07 ac.)
EXISTING ONSITE IMPERVIOUS AREAS:	
BUILDINGS	2,400 S.F.
SHEDS	376 S.F.
CONCRETE	1,360 S.F.
ASPHALT	16,797 S.F.
TOTAL:	20,933 S.F. (23.2%)
EXISTING ONSITE IMPERVIOUS AREAS TO BE REMOVED:	
ASPHALT:	3,991 S.F.
CONCRETE:	1,019 S.F.
SHEDS:	253 S.F.
TOTAL:	5,263 S.F.
SOIL TYPE:	LE (LEON SAND) (Per the USDA websoil survey map)

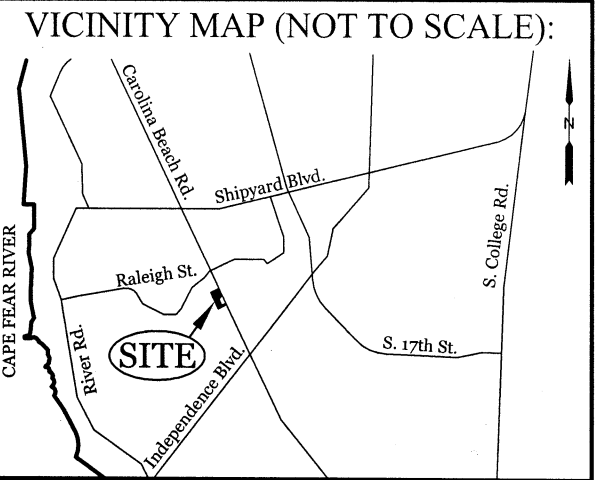


STANDARD DETAIL	
TREE PROTECTION DURING CONSTRUCTION	
DATE: JAN, 2015	CITY OF WILMINGTON NORTH CAROLINA CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
DRAWN BY: JSR	SD 15-09
CHECKED BY: RDG, P.E.	
SCALE: NOT TO SCALE	SHEET 1 of 2



- NOTES:
1. THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
2. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
3. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
4. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
5. TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION. 6. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

STANDARD DETAIL	
TREE PROTECTION DURING CONSTRUCTION	
DATE: JAN, 2015	CITY OF WILMINGTON NORTH CAROLINA CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
DRAWN BY: JSR	SD 15-09
CHECKED BY: RDG, P.E.	
SCALE: NOT TO SCALE	SHEET 2 of 2



REVISIONS	

INTRACOASTAL ENGINEERING, PLLC
5725 Oleander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: 910.859.8983
Email: Charlie@intracoastalengineering.com
License Number: P-0662

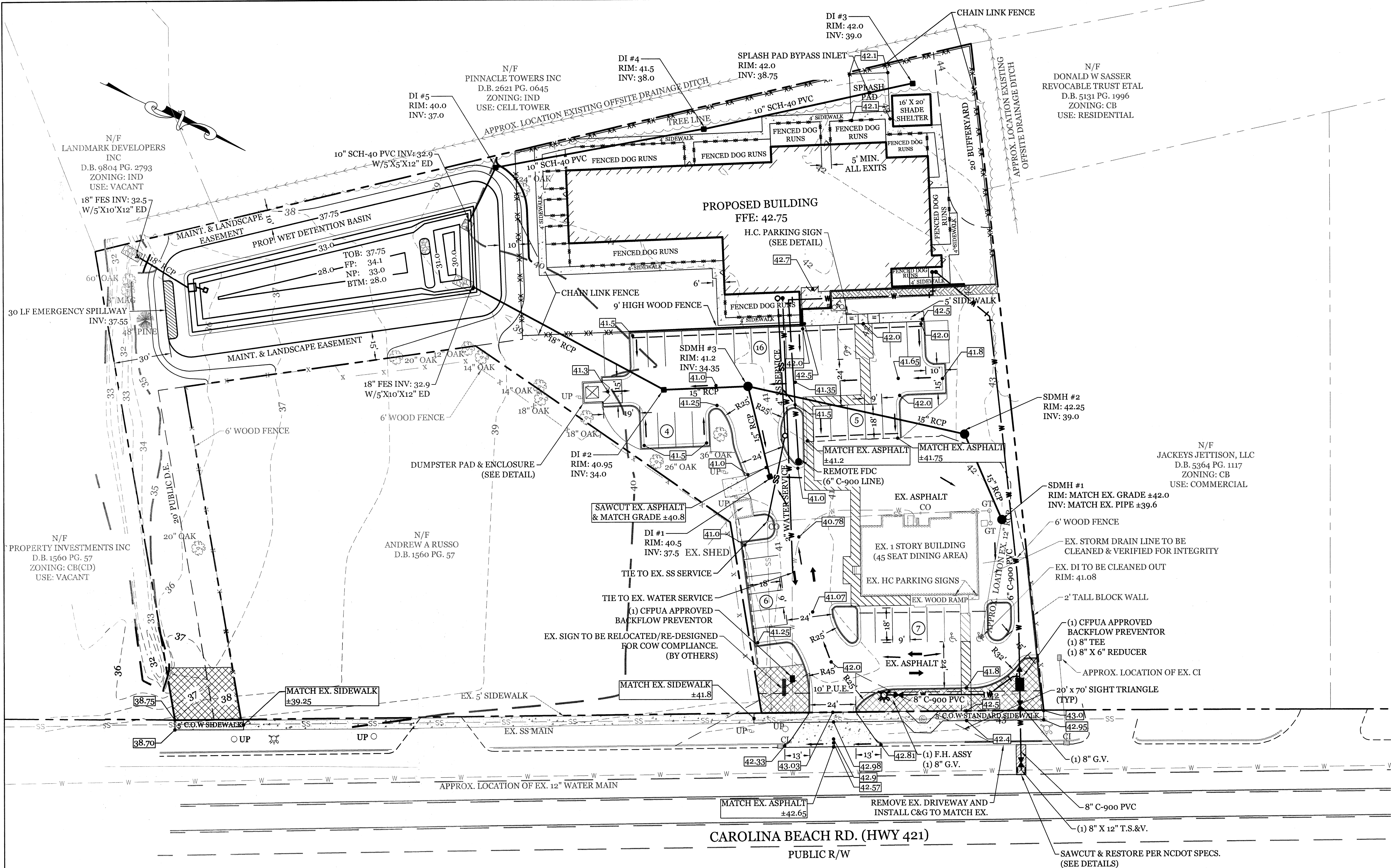
EXISTING CONDITIONS / TREE REMOVAL & PROTECTION PLAN FOR WILMINGTON PAWVILLE
CITY OF WILMINGTON
NEW HANOVER COUNTY, NC

PROFESSIONAL SEAL
032555
ENGINEER
CHARLES D. CAZIER
11/29/18

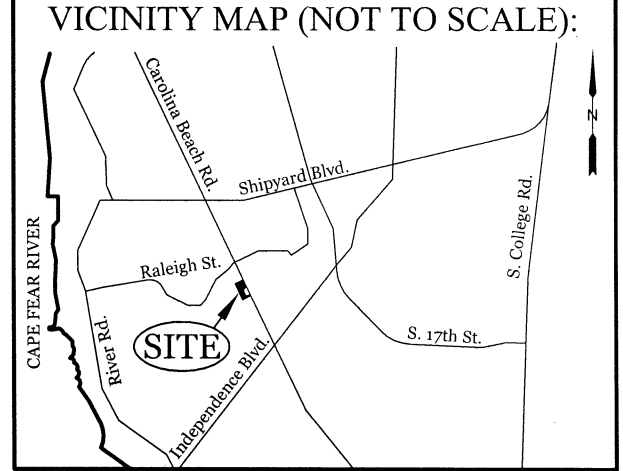
CLIENT INFORMATION:
Phil Miller
Pawville Real Estate Holdings, LLC
108 Pagoda Ct.
Hampstead, NC 28443
Ph. 910-599-2641

DRAWN: JAE	SHEET SIZE: 24x36
CHECKED: CDC	DATE: 11/29/2018
APPROVED: CDC	SCALE: 1"=30'
PROJECT NUMBER: 2018-013	

DRAWING NUMBER: **C-o**
1 OF 7



SITE DATA		
PARCEL ID:	R06500-007-024-000	
CURRENT ZONING:	CB (COMMUNITY BUSINESS)	
CAMA LAND USE CLASSIFICATION:	URBAN	
PROJECT ADDRESS:	3530 CAROLINA BEACH RD. WILMINGTON, NC 28401	
CURRENT OWNER:	ROUBINI M. OMIRLY 13 BARNARD DR WILMINGTON, NC 28405	
TOTAL ACREAGE IN PROJECT BOUNDARY	90,312 S.F. (± 2.07 ac.)	
NUMBER OF BUILDINGS:	2	
BUILDING SIZE:	9,800 S.F. GFA	
BUILDING HEIGHT:	16' / 1 STORY (45' MAX PER CB REGULATION)	
BUILDING SETBACKS:		
FRONT:	REQUIRED= 20'	
SIDE:	REQUIRED= 0'/20' TO RES. USE	
REAR:	REQUIRED= 10'	
FRONT:	EXISTING= 60'	PROPOSED= 200'
SIDE:	EXISTING= 60'/23'	PROPOSED= 71'/22'
REAR:	EXISTING= 226'	PROPOSED= 17'
CALCULATION FOR BUILDING COVERAGE:		
PROPOSED COVERAGE	13,527 S.F. ÷ 90,312 S.F. = 15.0%	
PROPOSED IMPERVIOUS AREAS:		
BUILDINGS	11,127 S.F.	
ASPHALT PARKING AREA	9,167 S.F.	
CONCRETE SIDEWALK	3,131 S.F.	
SPLASH PAD	400 S.F.	
FUTURE	811 S.F.	
TOTAL	24,636 S.F. (27.3%)	
TOTAL ON-SITE IMPERVIOUS AREA:		
PROPOSED IMPERVIOUS AREA:	24,636 S.F.	
EXISTING IMP. AREA TO REMAIN:	15,670 S.F.	
TOTAL:	40,306 S.F. (44.6%)	
PROPOSED OFFSITE IMPERVIOUS AREAS:		
CONCRETE SIDEWALK:	792 S.F.	
DRIVEWAY APRON:	650 S.F.	
TOTAL:	1,442 S.F.	
PARKING REQUIRED (9,800 S.F. KENNEL):		
MIN:	1 SPACE/400 S.F. = 25 SPACES (1 H.C.)	
MAX:	1 SPACE/250 S.F. = 39 SPACES (2 H.C.)	
PARKING REQUIRED (45 SEAT RESTAURANT):		
MIN:	1 SPACE/4.0 SEATS = 11 SPACES (1 H.C.)	
MAX:	1 SPACE/2.5 SEATS = 18 SPACES (1 H.C.)	
PARKING PROVIDED:	38 SPACES (3 H.C.)	
BICYCLE PARKING REQUIRED: (MIN. 5 PER 25-125 VEHICLE SPACES)		
REQUIRED:	5 SPACES	
PROVIDED:	5 SPACES	
FOUNDATION PLANTINGS:		
EAST FACADE: 175 LF X 16' FACADE X 12%		
REQUIRED:	336 S.F.	
PROVIDED:	394 S.F.	
STREET/YARD REQUIREMENT: (9' MIN & 27' MAX WIDTH)		
REQUIRED: 156.84' LP X18"	2,823 S.F.	
PROVIDED:	2,827 S.F.	
EXISTING SEWER AND WATER DEMAND:=	2,400 GPD	
PROPOSED SEWER AND WATER DEMAND:		
98 KENNELS @ 20 GAL/KENNEL =	1,960 GPD	
EXISTING DEMAND=	2,400 GPD	
TOTAL:	4,360 GPD	



REVISIONS

INTRACOASTAL
ENGINEERING, PLLC

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Phone: 910.859.8983
Email: Charlie@intracoastalengineering.com
License Number: P-0662

SITE, GRADING, DRAINAGE,
STORMWATER, & UTILITIES
PLAN
FOR
WILMINGTON PAWVILLE

CITY OF WILMINGTON
NEW HANOVER COUNTY, NC

- DEVELOPMENT NOTES:**
1. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE, INCLUDING PRESCRIBED CONDITIONS FOR THIS USE. (SECT. 18-280 of COW MUTCD)
 2. PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
 3. ALL PENS SHALL BE ENCLOSED.
 4. LIMITED OUTDOOR EXERCISE RUNS OR FACILITIES SHALL BE PERMITTED SO LONG AS THEIR HOURS OF USE ARE RESTRICTED TO THE HOURS BETWEEN 8:00 A.M. AND 5:00 P.M.
 5. EXERCISE RUNS OR FACILITIES SHALL BE A MINIMUM OF FOUR (4) FEET BY TEN (10) FEET.
 6. THE FACILITY SHALL MAINTAIN A MINIMUM TOTAL OF TWENTY-FIVE (25) SQUARE FEET OF KENNEL AREA PER ANIMAL. THIS AREA MAY BE COMPRISED OF CAGE AREA, RUNS, OR EXERCISE FACILITIES.

- UTILITY NOTES:**
1. CONTRACTOR TO VERIFY SANITARY SEWER TIE IN DEPTH AT START OF PROJECT. CONFIRM NO CONFLICT WILL OCCUR BETWEEN SS AND STORM DRAIN PIPES.
 2. EXISTING WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS.
 3. ALL PROPOSED UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS & TELEPHONE SHALL BE INSTALLED UNDERGROUND.
 4. ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CFPWA TECHNICAL SPECIFICATIONS & STANDARDS.
 5. PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND N.C.D. E.N.R. HAS ISSUED THEIR "FINAL APPROVAL". CALL 343-3910 FOR INFORMATION.
 6. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCCOHR OR ASSE.
 7. WATER & SEWER SERVICES CAN NOT BE ACTIVATED ON NEW MAINS UNTIL THE ENGINEER'S CERTIFICATION AND AS-BUILTS ARE RECEIVED AND "FINAL APPROVAL" ISSUED BY THE PUBLIC WATER SUPPLY SECTION OF NCENR, AND "FINAL ENGINEERING CERTIFICATION" ISSUED BY DIVISION OF WATER QUALITY SECTION OF NCDEM.
 8. IF CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
 9. WHEN PVC WATER MAINS AND SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED, SINGLE-STRAND COPPER WIRE INSTALLED & STRAPPED TO THE PIPES WITH DUCT TAPE. THIS IS TO BE ACCESSIBLE IN ALL VALVES AND METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
 10. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OR EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LOCO AT 1-800-632-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB & GUTTER, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
 11. THE BELLSOUTH CONTACT IS STEVE DAYVAULT, BUILDING INDUSTRY CONSULTANT, AT 910-392-6712. CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.
 12. THE PROCESS FOR TELEPHONE CABLE PLACEMENT: * FINAL GRADE WILL NEED TO BE ESTABLISHED. * POWER WILL PLACE THEIR CABLE FIRST - APPROXIMATELY 3' DEEP. * BELLSOUTH & CABLE TV WILL THEN PLACE THEIR CABLE AT APPROXIMATELY 2' DEEP.
 13. SOLID WASTE DISPOSAL BY PRIVATE DUMPSTER SERVICE.
 14. RUNOFF FROM ALL IMPERVIOUS SURFACES, INCLUDING ROOF DRAINAGE, TO BE DIRECTED TO STORM DRAIN SYSTEM.
 15. ALL WATER LINES TO BE BURIED AT 36" MIN. DEPTH

- GENERAL TRAFFIC NOTES:**
1. ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS OFF THE R/W TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 2. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. [DETAIL SD 15-13 & SD 11-3 COW TECH STDS]
 3. ALL SIGNS AND PAVEMENT MARKINGS OFF RIGHT OF WAY ARE TO MEET/BE MAINTAINED TO MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS. [DETAIL SD 15-13 & SD 11-3 COW TECH STDS]
 4. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 5. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 6. CONTACT TRAFFIC ENGINEERING AT 341-5888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
 7. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10'.
- FIRE & SAFETY NOTES:**
1. CONSTRUCTION TYPE: V-B (COMMERCIAL)
 2. PROPOSED BUILDING WILL BE SPRINKLED
 3. PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS.
 4. ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
 5. HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.
 6. IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
 7. HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE)
 8. FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT
 9. PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0666
 10. ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRICALLY SUPERVISED.

Approved Construction Plan

Name _____ Date _____

Planning _____

Public Utilities _____

Traffic _____

Fire _____

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

LEGEND

30' 15' 0' 30' 60'

Scale: 1"=30'

NORTH CAROLINA
PROFESSIONAL
SEAL
032555
ENGINEER
CHARLES D. CAZIER

11/29/18

CLIENT INFORMATION:

Phil Miller
Pawville Real Estate Holdings, LLC
108 Pagoda Ct.
Hampstead, NC 28443
Ph. 910-599-2641

DRAWN: JAE SHEET SIZE: 24x36

CHECKED: CDC DATE: 11/29/2018

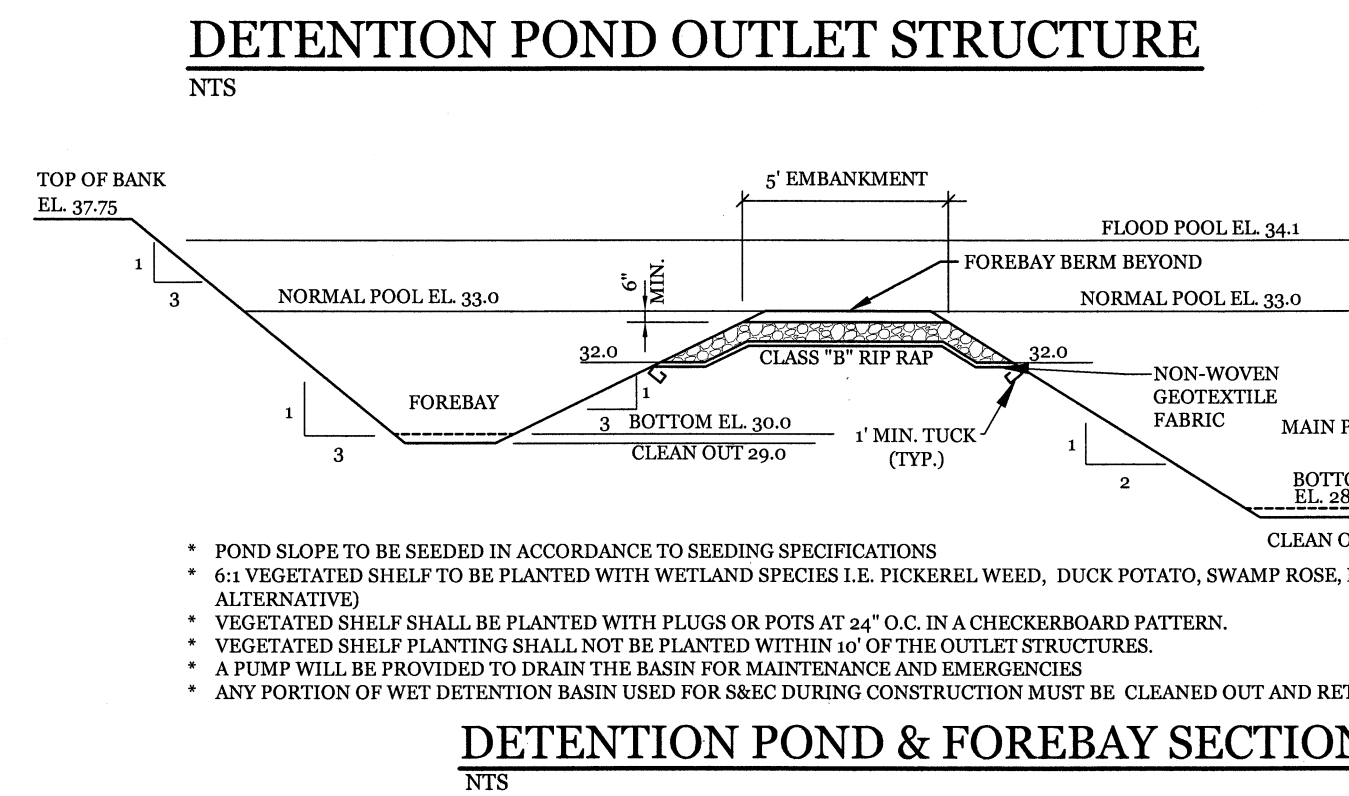
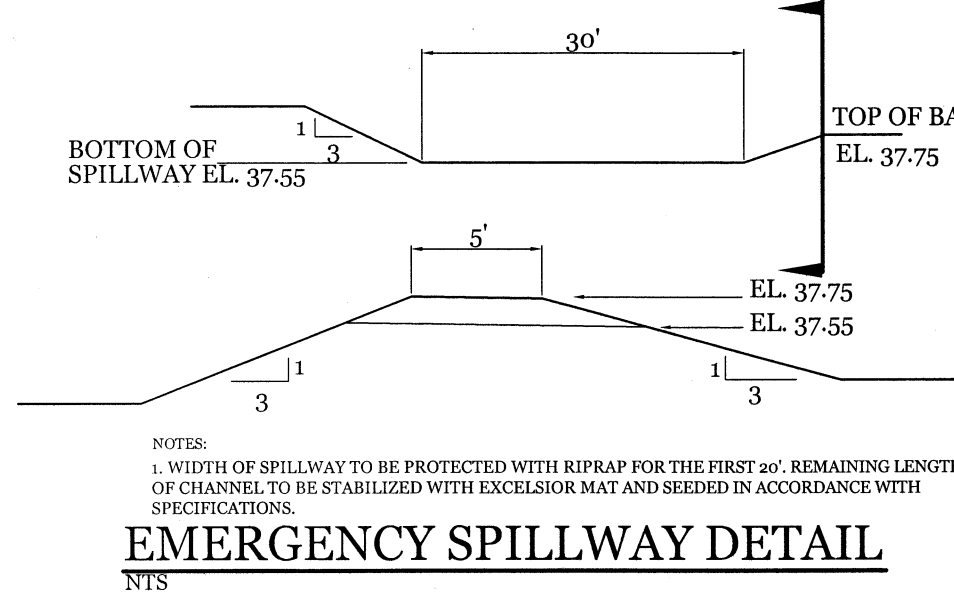
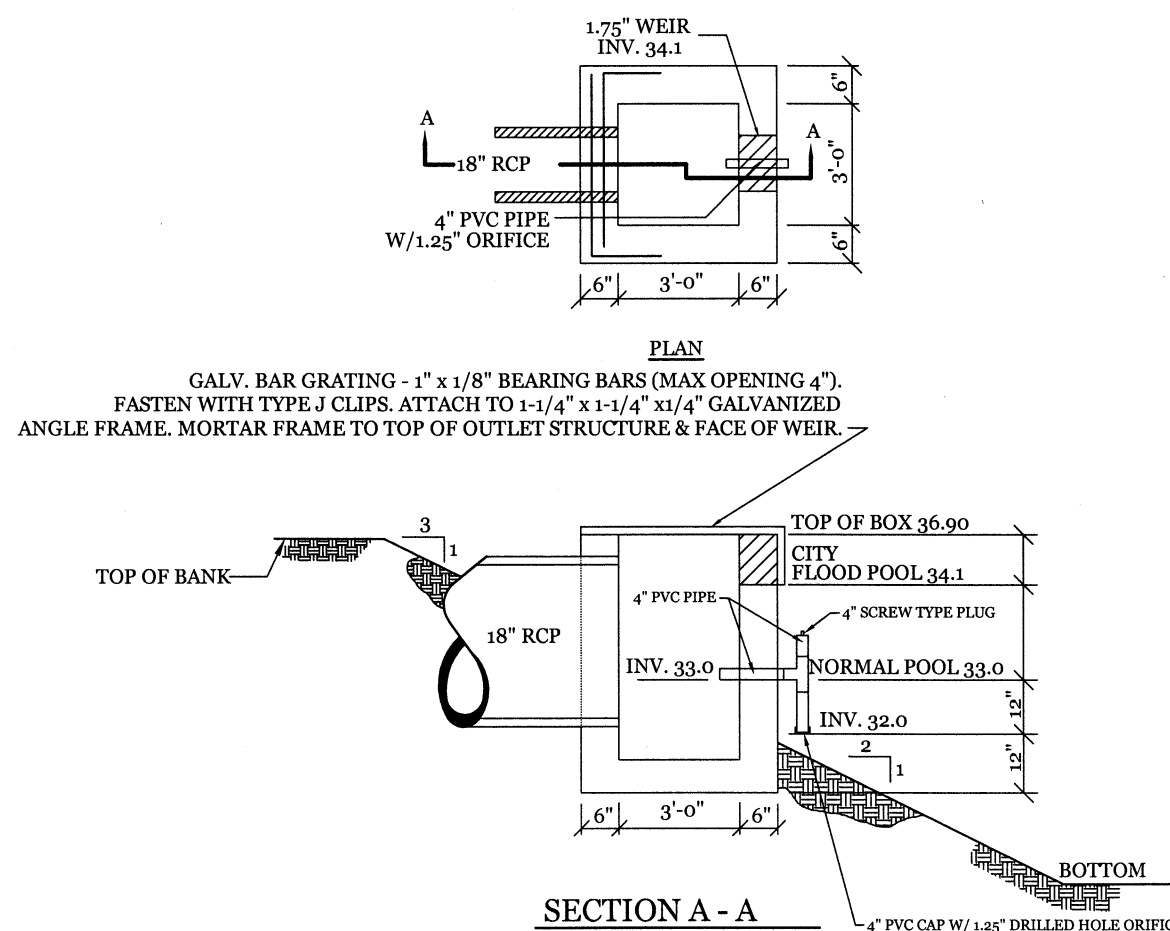
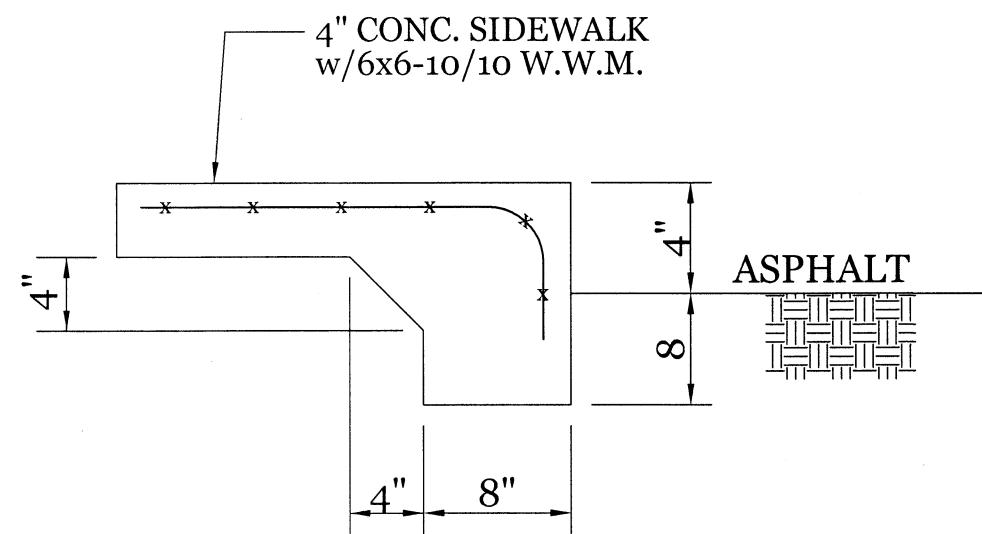
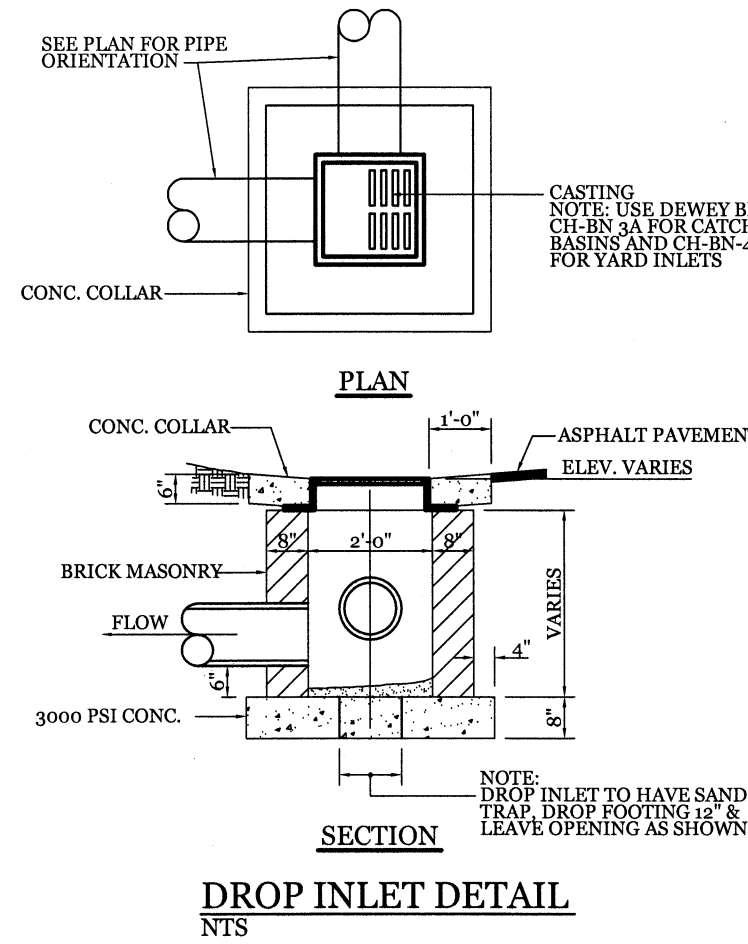
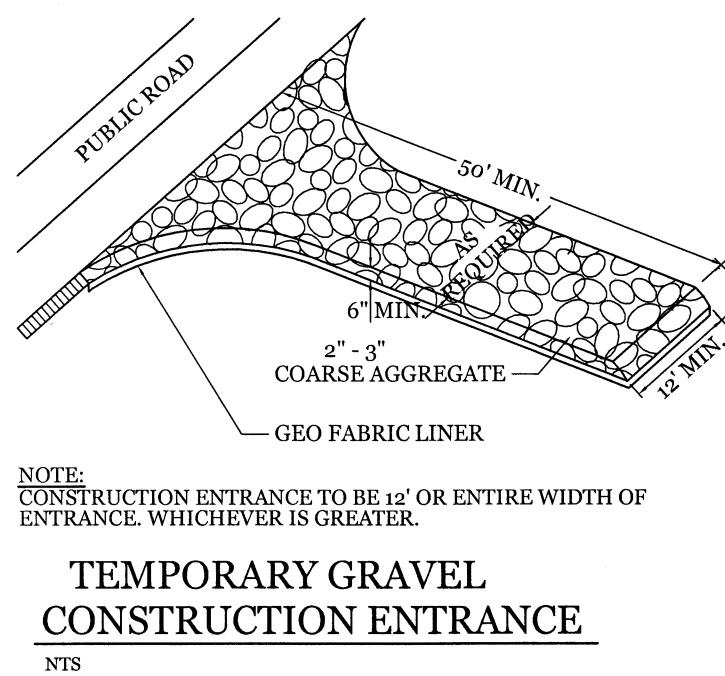
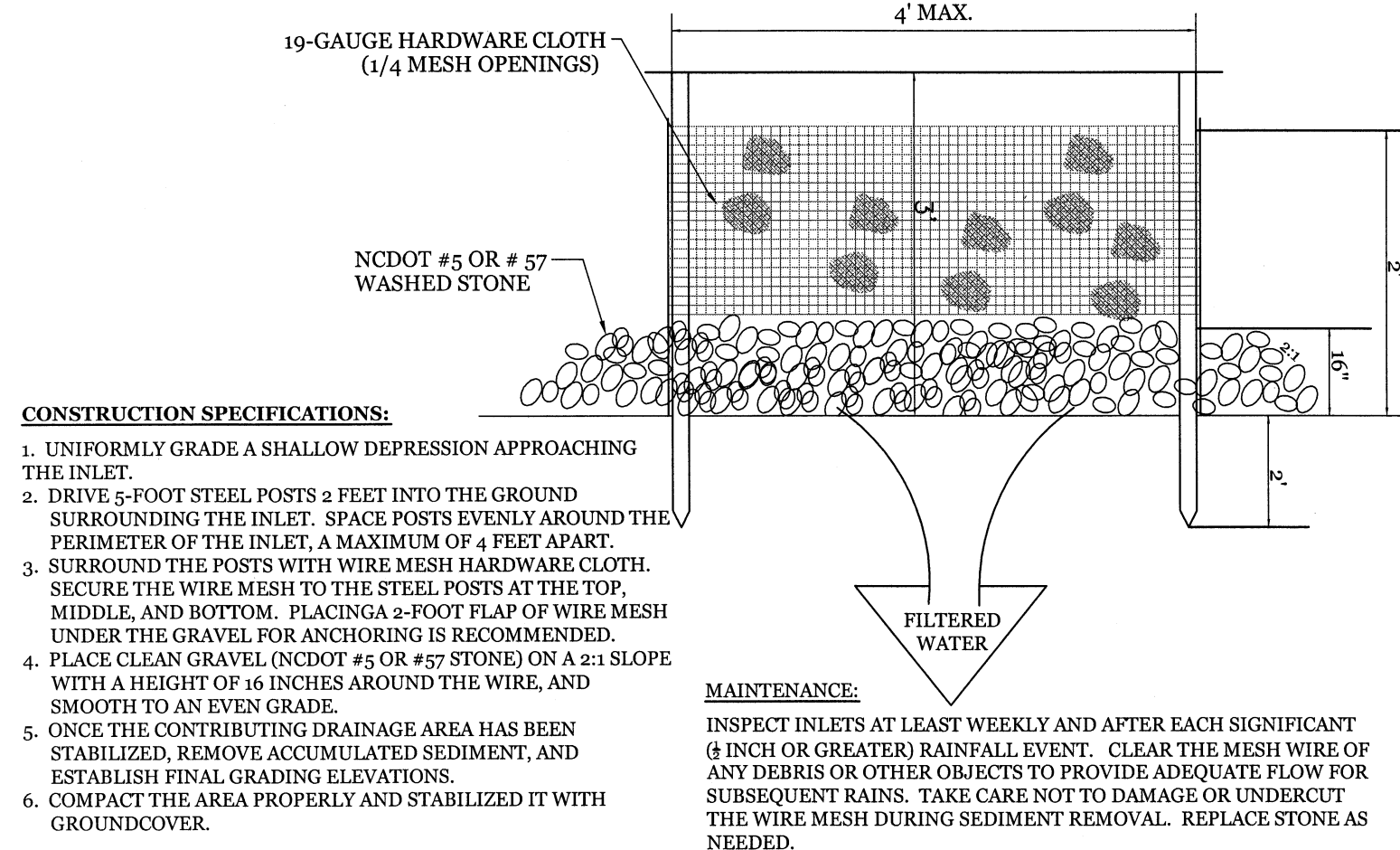
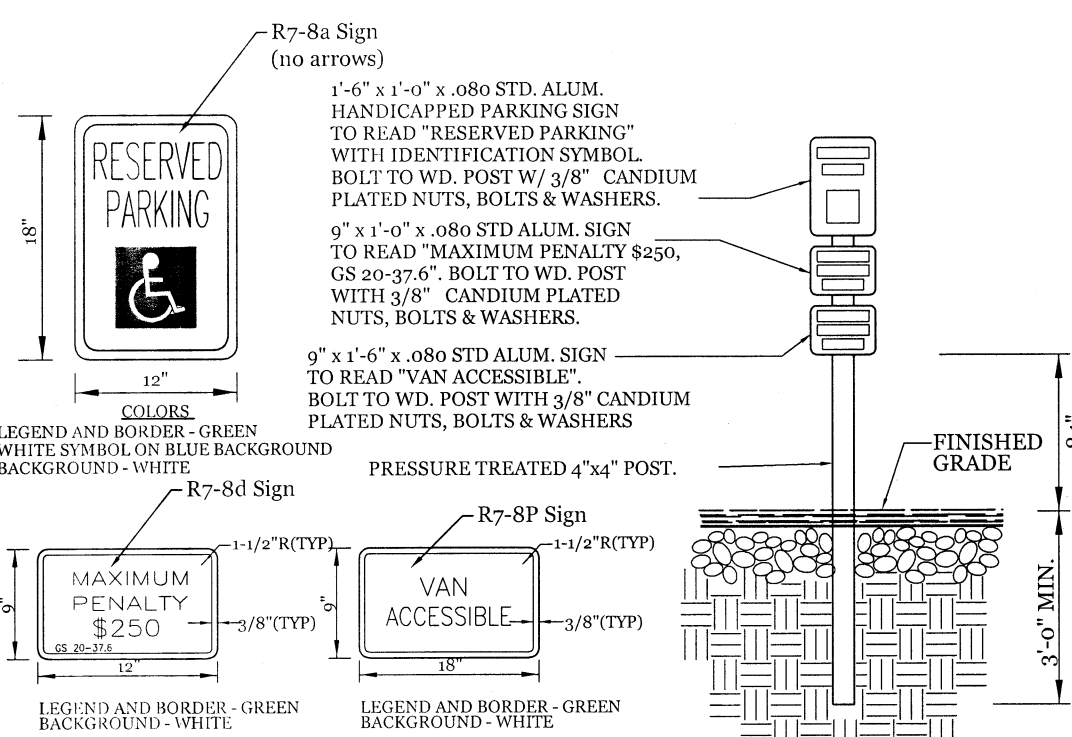
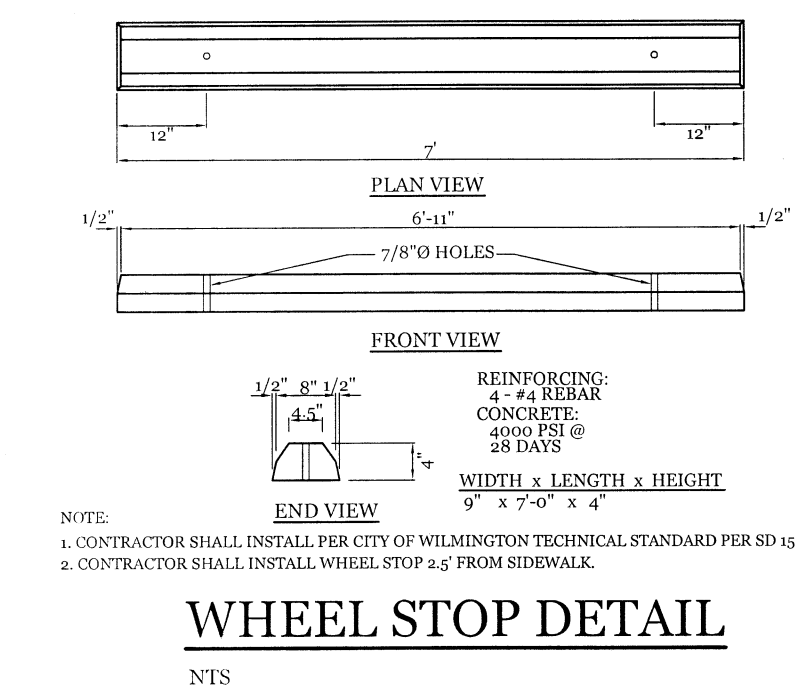
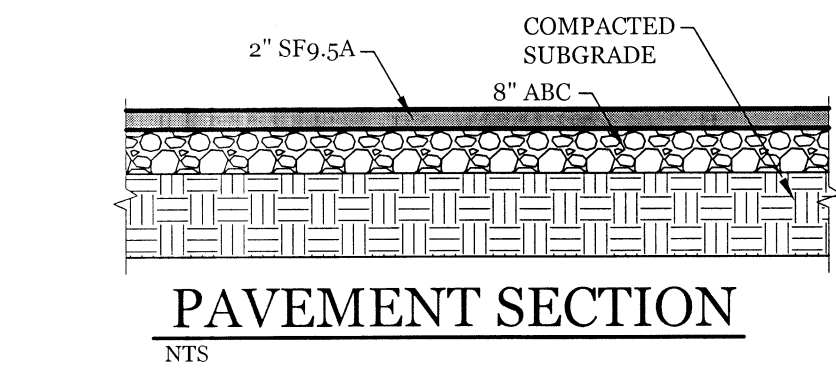
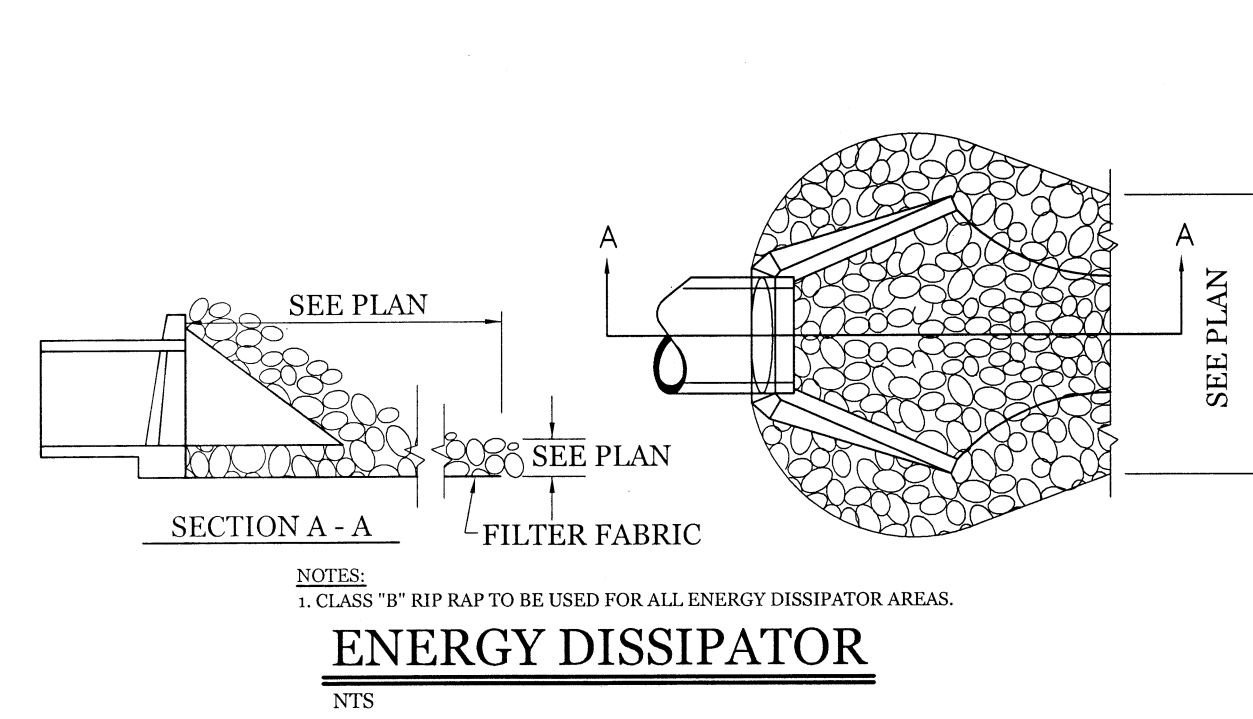
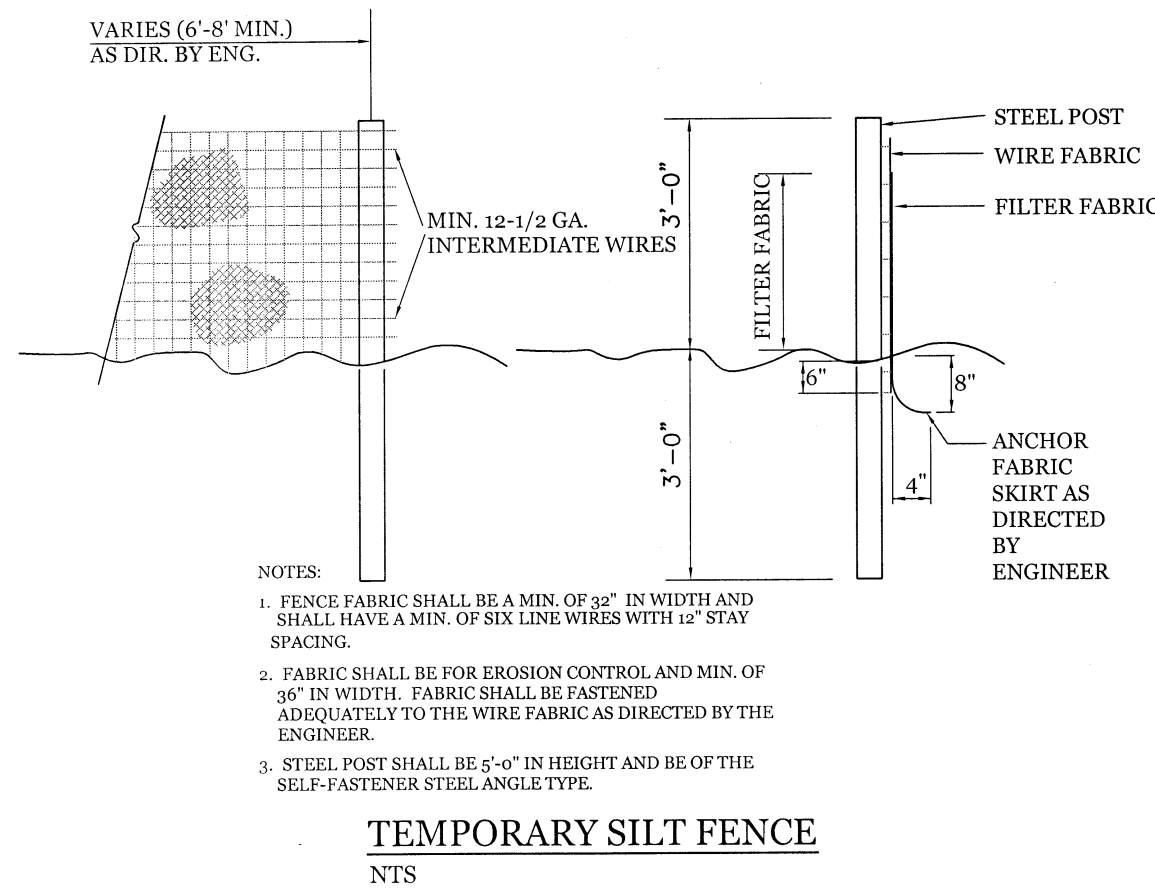
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PROJECT NUMBER: 2018-013

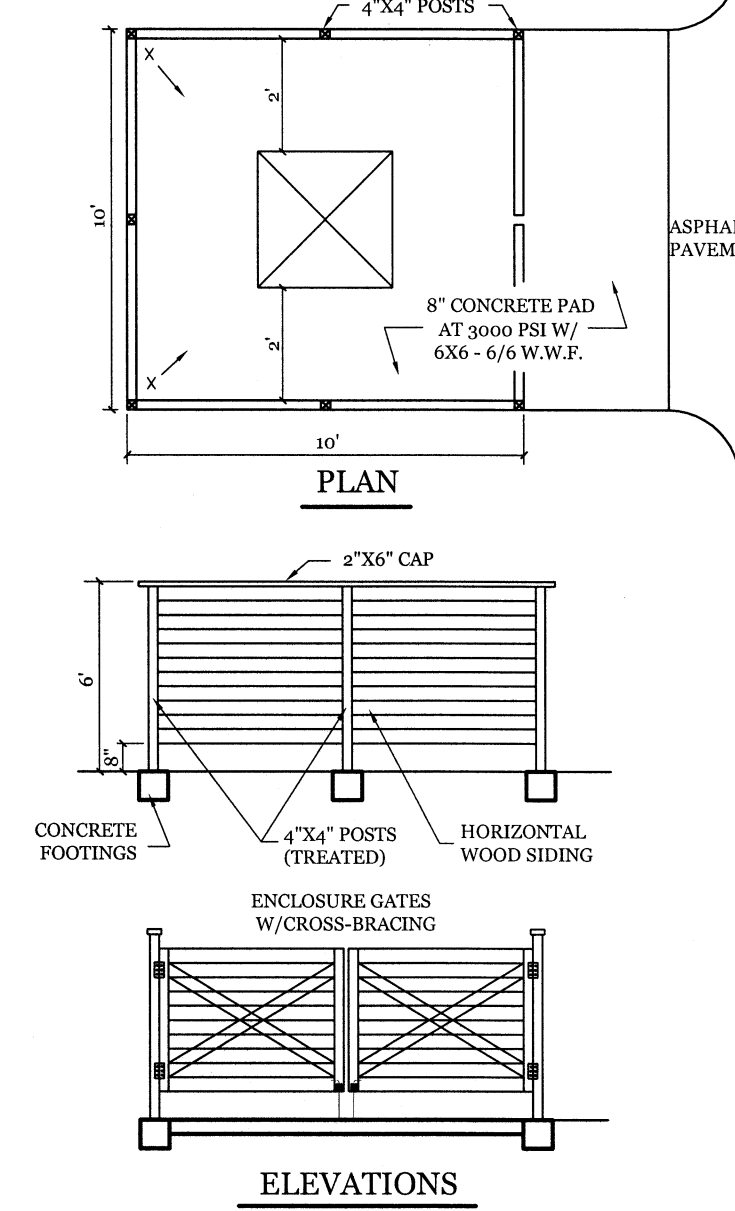
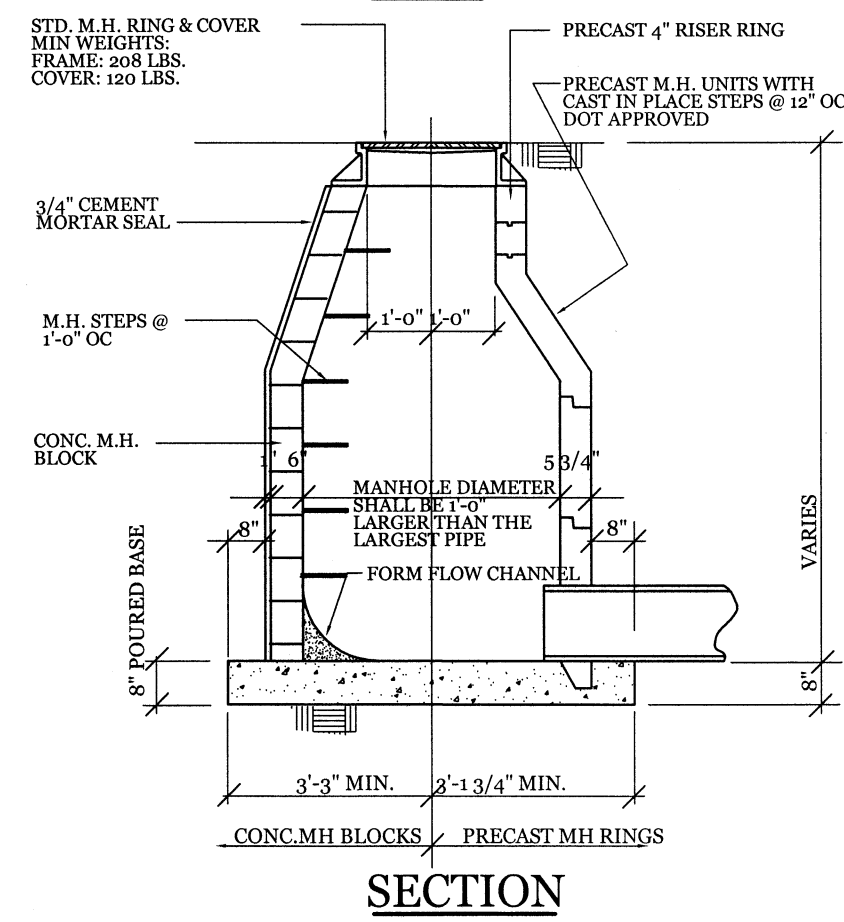
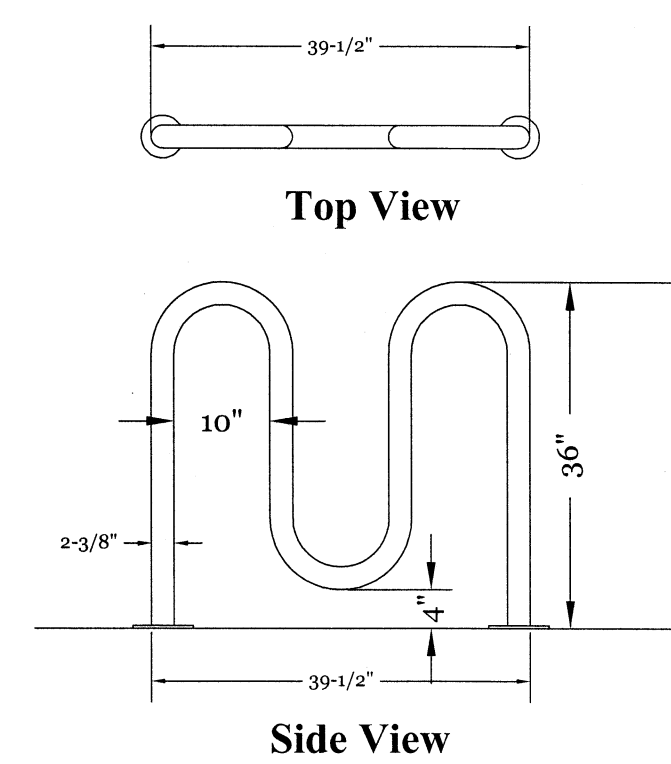
DRAWING NUMBER:

C-1

2 OF 7



- SITE WORK NOTES:**
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BOTH ON AND ADJACENT TO THE SITE.
 - CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE DESIGNATED TO REMAIN.
 - GRUBBING AND STRIPPING: CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION.
 - MUCKING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.
 - DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
 - FILL AND COMPACTION SHOULD COMPLY WITH GEOTECHNICAL RECOMMENDATIONS.
 - THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT AND FILL QUANTITIES AND COMPLETE INSTALLATION TO SPECIFIED GRADES.
 - THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE PROPERLY PERMITTED FACILITY AS REQUIRED.
 - INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
 - NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. BEFORE COMMENCING ANY EXCAVATIONS OR IN OR ALONG ROADWAYS OR RIGHT-OF-WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PERSONNEL OF THEIR INTENT TO EXCAVATE, IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO EXCAVATING.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/ RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE PERSONNEL.
 - CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE & CURB BOXES TO FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
 - EXISTING SURVEY DATA PROVIDED BY ESP ASSOCIATES, INC.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE ENGINEER PRIOR TO INSTALLATION.
 - THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.
 - ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO MEET ALL LOCAL, STATE, AND CFPWA CODES. METERS, TAPS, MATERIALS, WORKMANSHIP AND ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS.
 - ALL BACKFILL FROM UTILITY INSTALLATION MUST BE COMPACTED OR AMENDED TO PROVIDE TRAFFIC BEARING CAPACITY. GEOTECHNICAL ENGINEER TO BE CONSULTED AT CONTRACTORS COST AS NECESSARY.
 - ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION. ALL AREAS SHALL BE SLOPED TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES.
 - CONCRETE FOR WALKS, CURBS AND DRIVES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS - AIR ENTRAINED.
 - FIELD TESTING SHALL BE DONE BY AN INDEPENDENT TESTING LABORATORY PAID FOR BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID FOR BY THE CONTRACTOR.
 - ALL SIDEWALKS SHALL BE FREE OF CRACKS, BREAKS, OR ANY OTHER DEFECT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.



Approved Construction Plan

Name: _____ Date: _____

Planning: _____

Public Utilities: _____

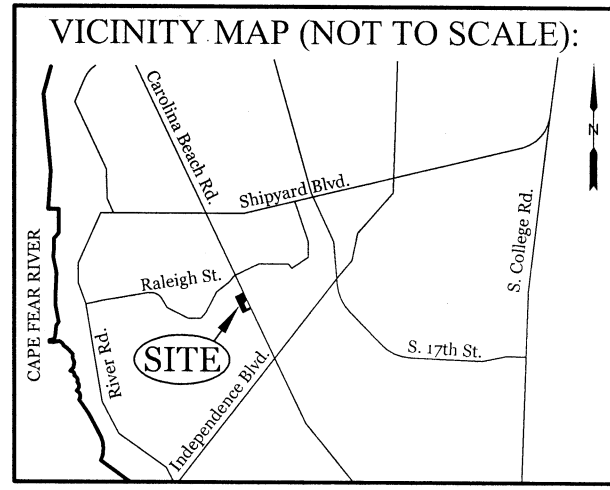
Traffic: _____

Fire: _____

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit #: _____

Signed: _____



REVISIONS

INTRACOASTAL ENGINEERING, PLLC

5725 Oleander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: 910.859.8983
Email: Charlie@intracoastalengineering.com
License Number: P-0662

DETAILS FOR WILMINGTON PAWVILLE

CITY OF WILMINGTON
NEW HANOVER COUNTY, NC

PROFESSIONAL SEAL

032555
ENGINEER
CHARLES D. CAZIER
11/29/15

CLIENT INFORMATION:

Phil Miller
Pawville Real Estate Holdings, LLC
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Ph. 910-599-2641

DRAWN: JAE	SHEET SIZE: 24x36
CHECKED: CDC	DATE: 11/29/2018
APPROVED: CDC	SCALE: NTS
PROJECT NUMBER: 2018-013	

DRAWING NUMBER:

C-3

4 OF 7

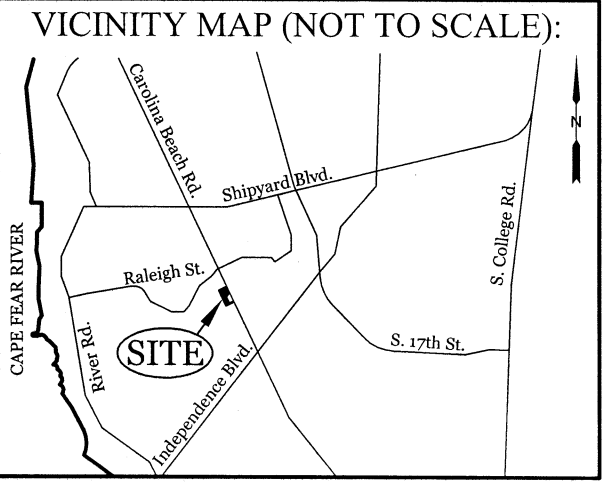
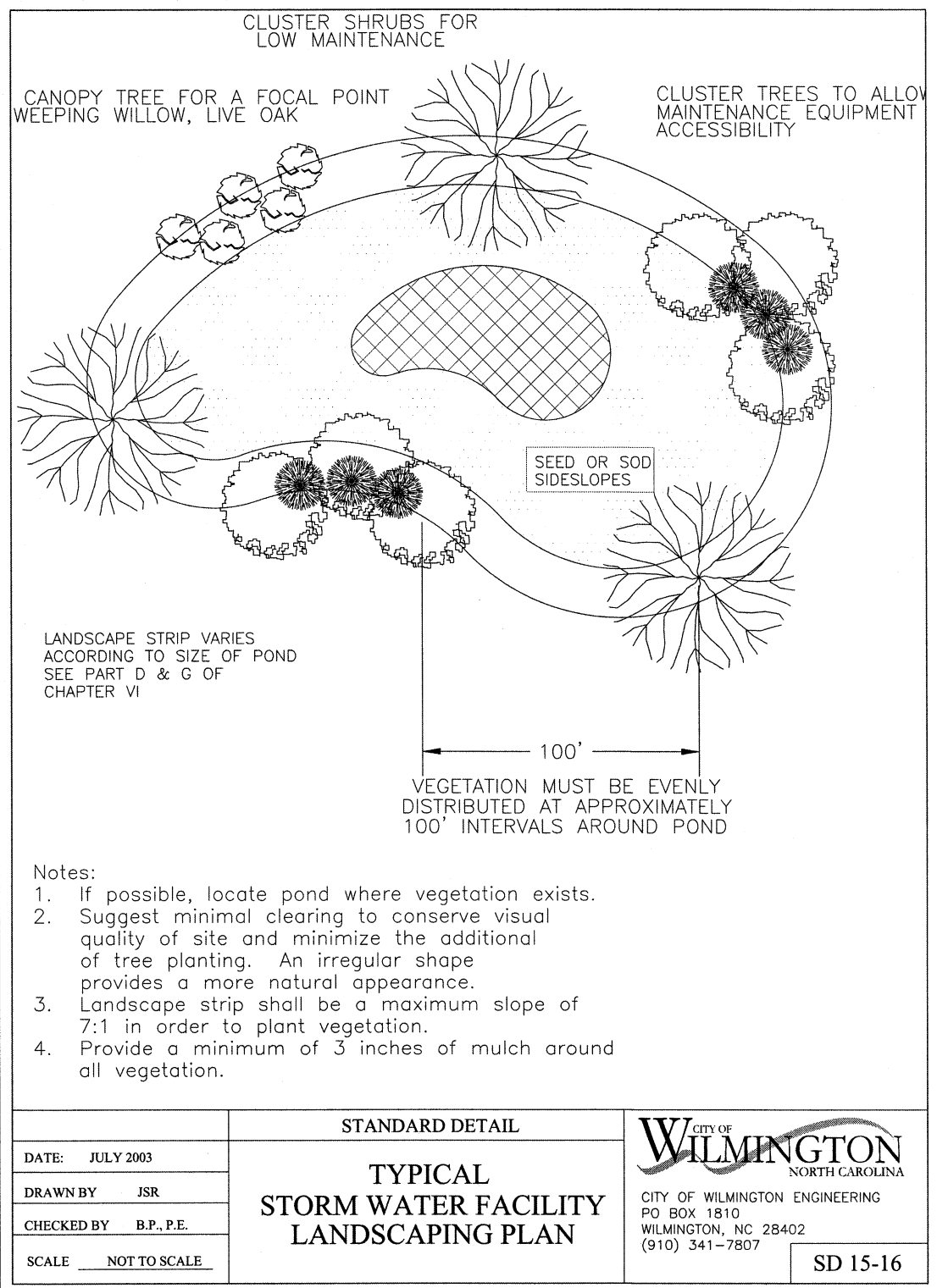
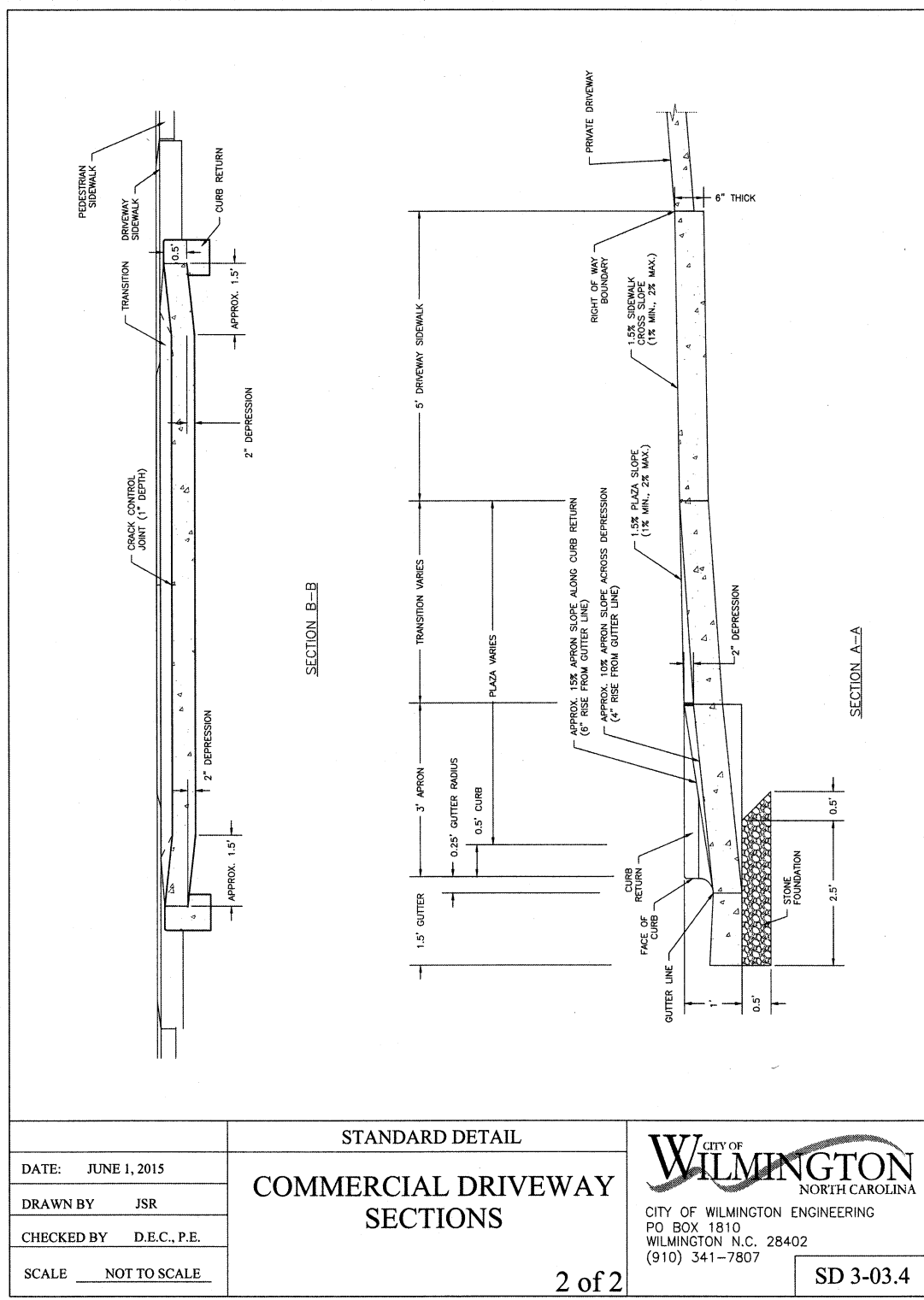
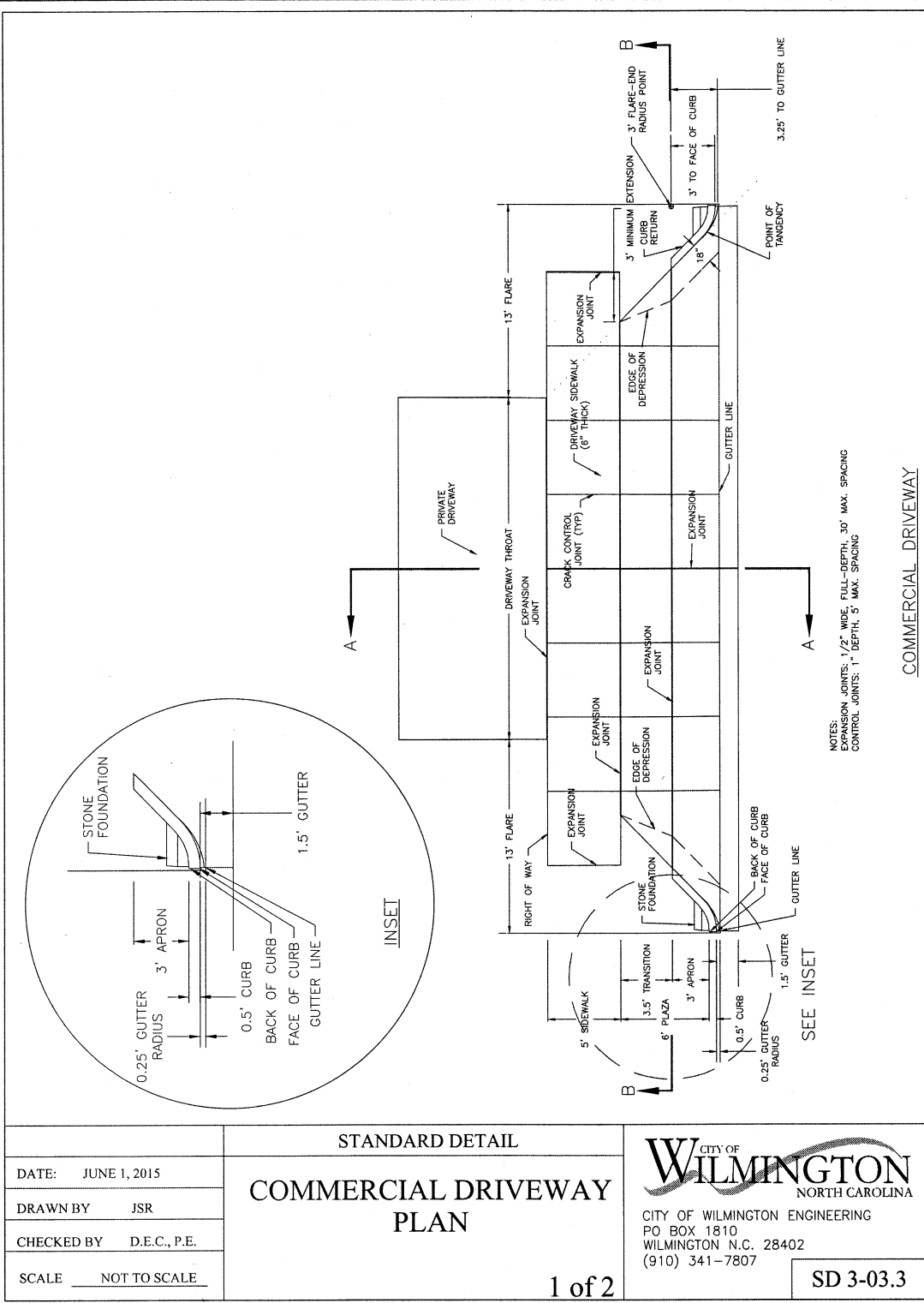
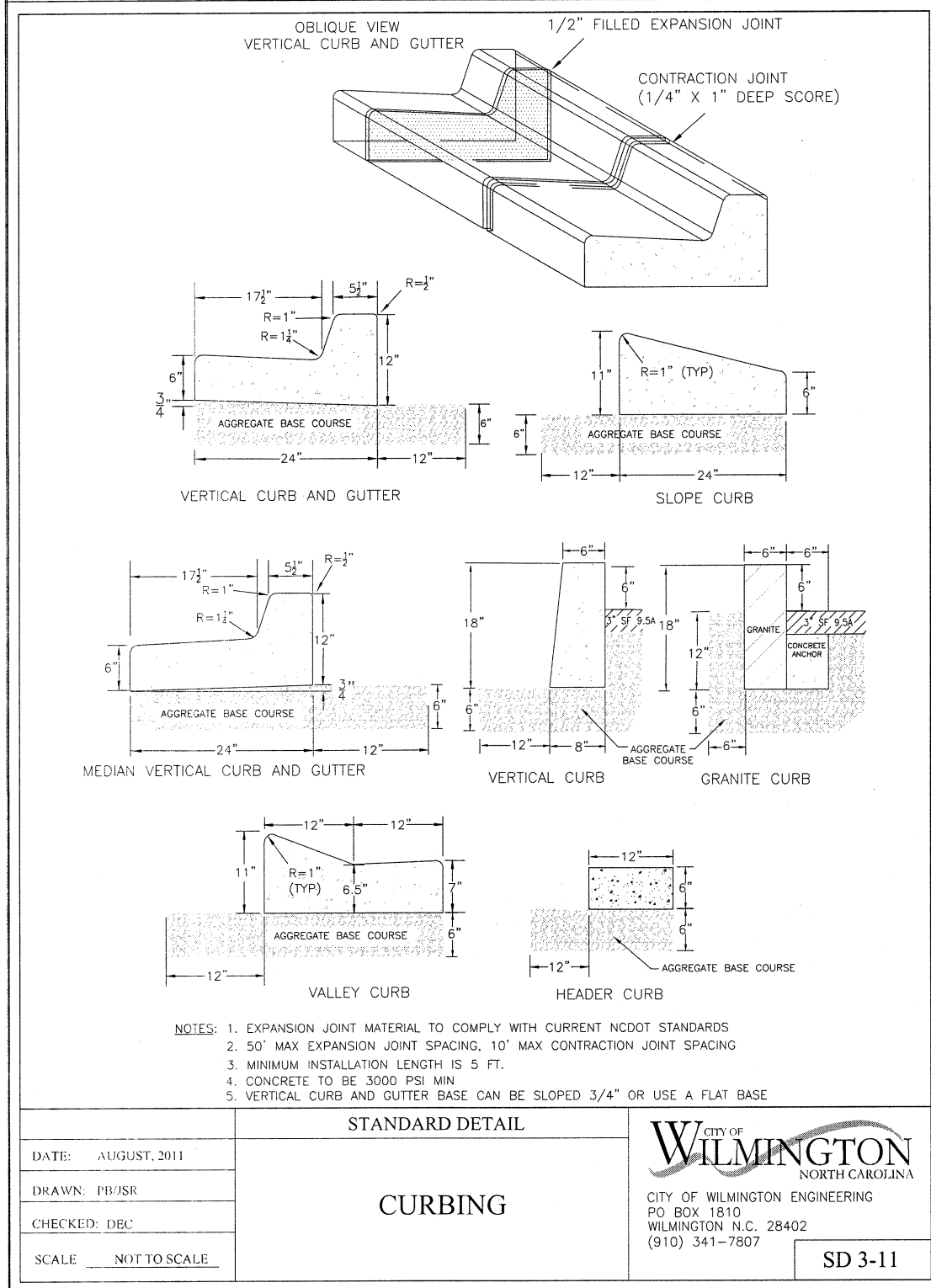
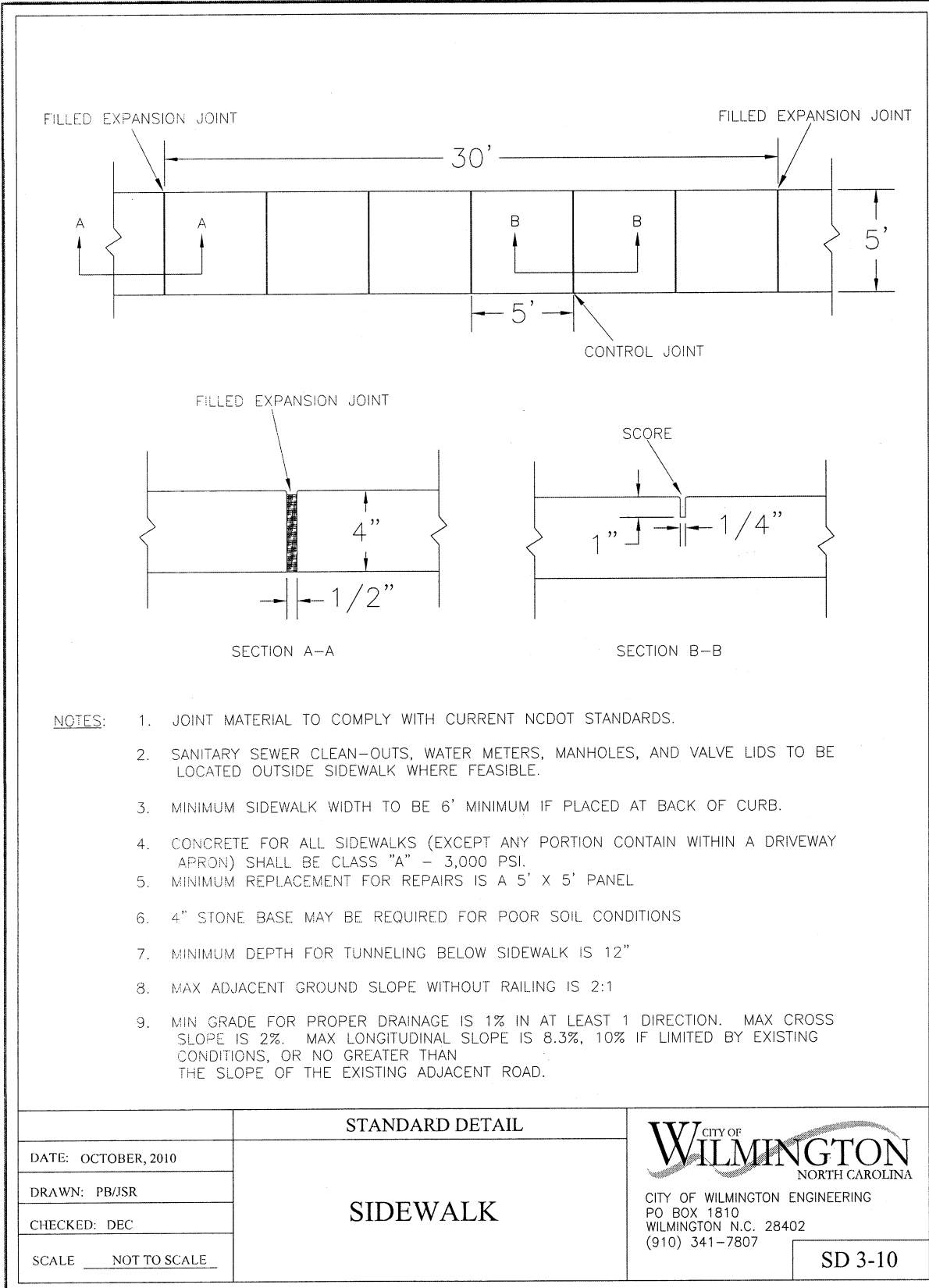


Table with 2 columns: REVISIONS, and 10 rows for revision tracking.

INTRACOASTAL ENGINEERING, PLLC
5725 Oleander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: 910.859.8983
Email: Charlie@intracoastalengineering.com
License Number: P-0662

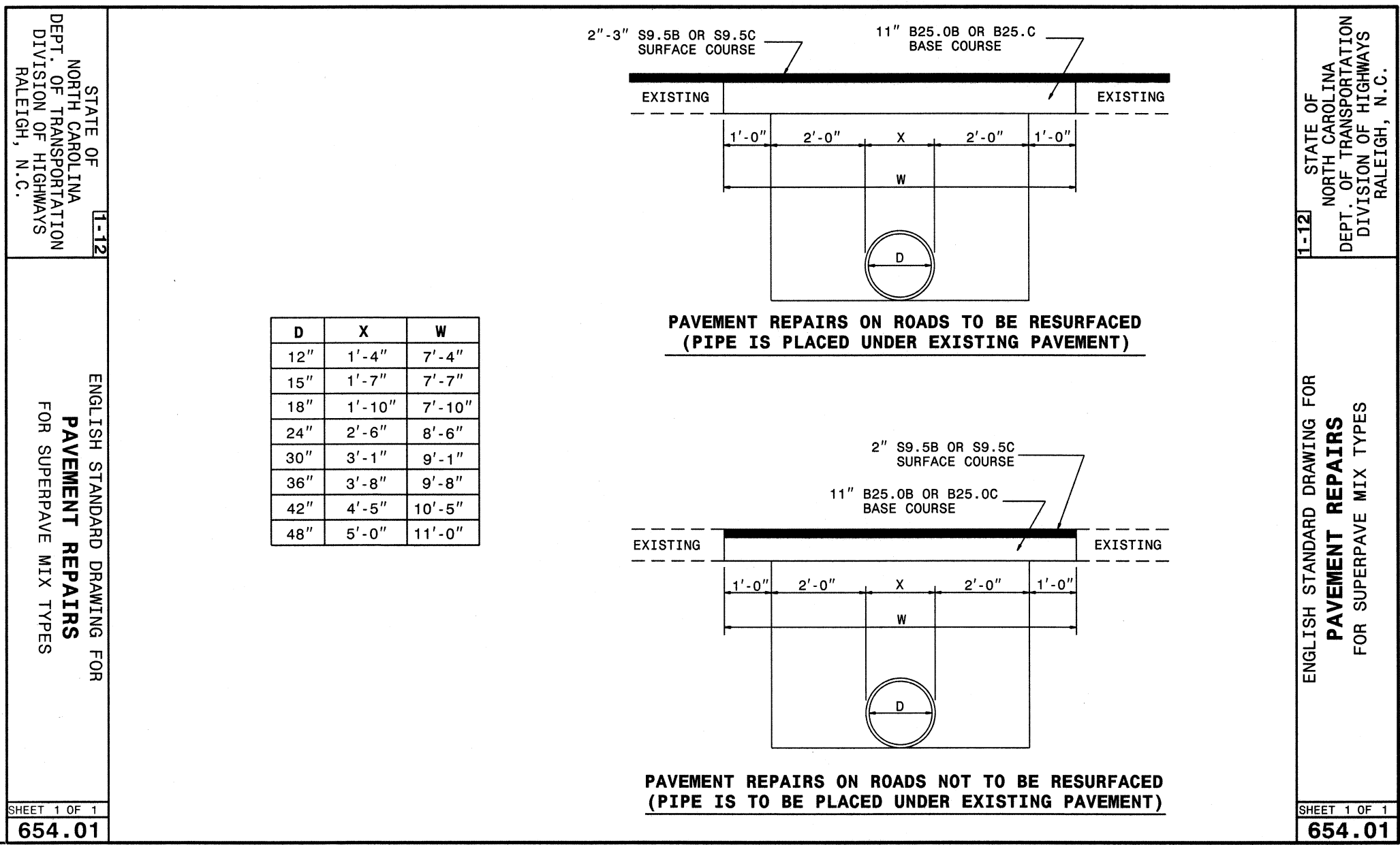
DETAILS FOR WILMINGTON PAWVILLE
CITY OF WILMINGTON
NEW HANOVER COUNTY, NC

Professional Engineer Seal for Charles D. Chzier, State of North Carolina, License No. 032555, dated 11/29/18.

CLIENT INFORMATION:
Phil Miller
Pawville Real Estate Holdings, LLC
108 Pagoda Ct.
Hampstead, NC 28443
Ph. 910-599-2641

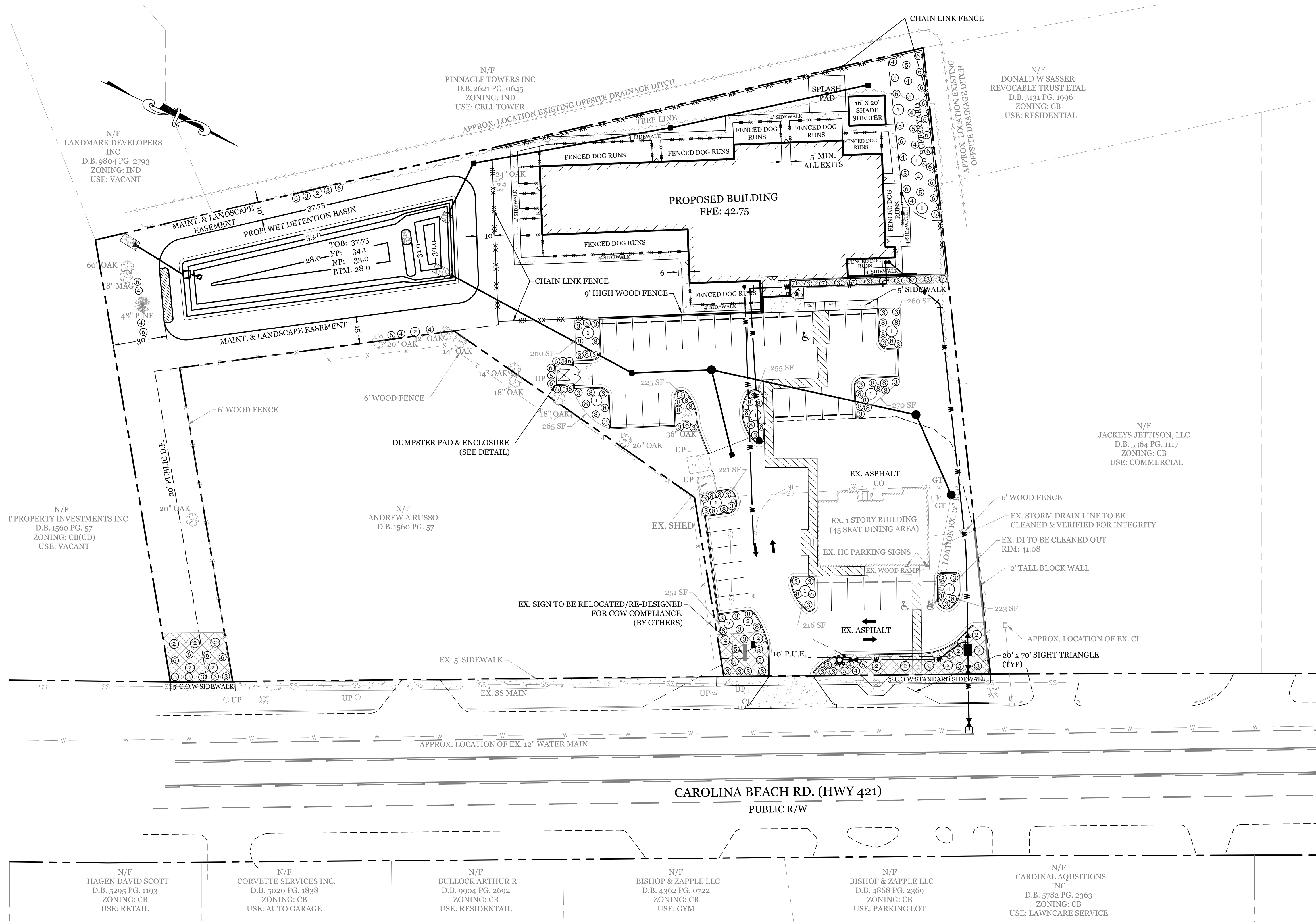
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DRAWING NUMBER: C-4



Approved Construction Plan
Name: _____ Date: _____
Planning: _____
Public Utilities: _____
Traffic: _____
Fire: _____
Date: _____ Permit #: _____
Signed: _____

CITY OF WILMINGTON
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN



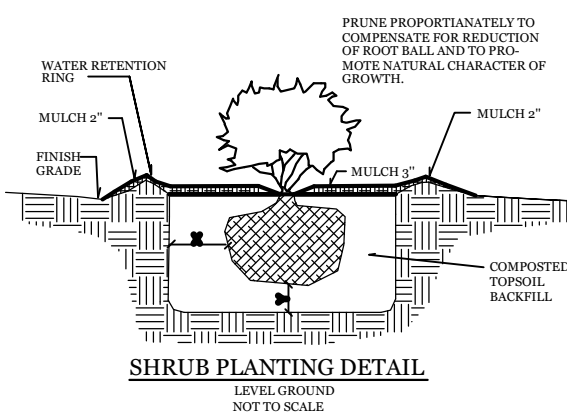
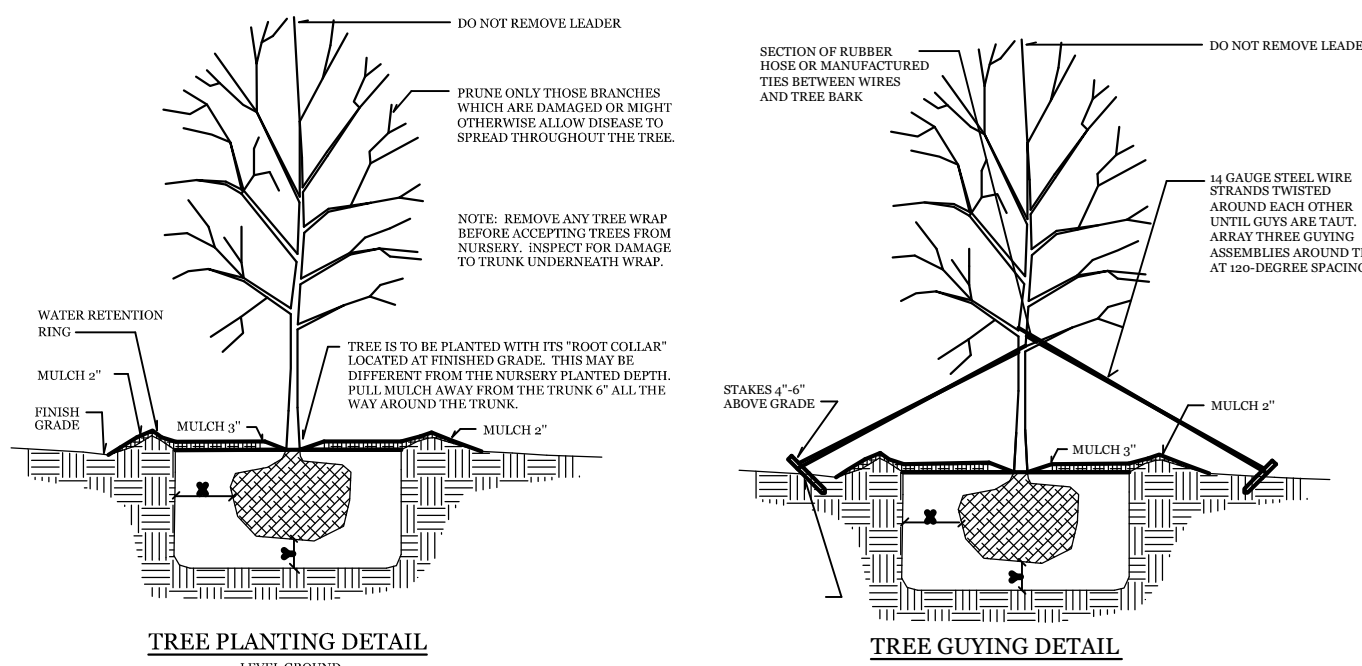
SITE DATA

PARCEL ID:	R06500-007-024-000		
CURRENT ZONING:	CB (COMMUNITY BUSINESS)		
CAMA LAND USE CLASSIFICATION:	URBAN		
PROJECT ADDRESS:	3530 CAROLINA BEACH RD. WILMINGTON, NC 28401		
CURRENT OWNER:	ROUBINI M. OMIRLY 13 BARNARD DR WILMINGTON, NC 28405		
TOTAL ACREAGE IN PROJECT BOUNDARY	90,312 S.F. (± 2.07 ac.)		
NUMBER OF BUILDINGS:	2		
BUILDING SIZE:	9,800 S.F. GFA		
BUILDING HEIGHT:	16' / 1 STORY (45' MAX PER CB REGULATION)		
BUILDING SETBACKS:			
FRONT:	REQUIRED= 20'		
SIDE:	REQUIRED= 0'/20' TO RES. USE		
REAR:	REQUIRED= 10'		
FRONT:	EXISTING= 60'	PROPOSED= 200'	
SIDE:	EXISTING= 60'/23'	PROPOSED= 71'/22'	
REAR:	EXISTING= 226'	PROPOSED= 17'	
CALCULATION FOR BUILDING COVERAGE:			
PROPOSED COVERAGE	13,527 S.F. ÷ 90,312 S.F. = 15.0%		

LANDSCAPE REQUIREMENTS:

	REQUIRED	PROVIDED
PARKING LOT INTERIOR SHADING:		
25% CANOPY COVERAGE (21,973 SF)	5,493 SF	6,991 SF *
EX. 36" OAK CALCULATED AT 707 SF. ACTUAL SHADING IS MUCH GREATER		
STREETYARD:		
CAROLINA BEACH RD. (156.84' X 18')	2,823 SF	2,827 SF
UNDERSTORY TREES (2,823 / 600 * 3)	14	14
SHRUBS (2,823 / 600 X 6)	28	28
FOUNDATION PLANTINGS:		
(12% OF BLDG FACE ADJ. TO PARKING AREA)	336 SF	394 SF
175' X 16' X 12%		
TREES REQUIRED:		
2.07 AC. SITE X 15 TREES / ACRE= 31 TREES		
STREETYARD: 14 TREES		
PARKING AREA: 10 TREES		
POND: 2 TREES		
EXISTING: 8 TREES		
TOTAL: 34 TREES		

- NOTE:
- ALL LANDSCAPED ISLANDS AND BEDS TO BE STABILIZED WITH MIN. 3" LAYER OF MULCH.
 - ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10'.



LANDSCAPE PLANT LIST					
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SIZE
①	11	<i>QUERCUS VIRGINIANA</i>	LIVE OAK	LARGE SHADE TREE	2" CAL.
②	18	<i>LAGERSTROEMIA INDICA</i>	CRAPE MYRTLE	UNDERSTORY TREE	8' HIGH
③	52	<i>ILEX VOMITORIA</i>	AZALEA	SHRUB	12" HIGH
④	16	<i>LIGUSTRUM</i>	PRIVET	SHRUB	12" HIGH (36" HIGH IN 20' BUFFER)
⑤	17	<i>PITTIOSPORUM</i>	PITTIOSPORUM	SHRUB	12" HIGH (36" HIGH IN 20' BUFFER)
⑥	29	<i>JUNIPERUS CHINENSIS</i>	HETZI	SHRUB	12" HIGH (36" HIGH IN 20' BUFFER)
⑦	6	<i>ROSA RADRAZZ</i>	KNOCKOUT ROSE	SHRUB	12" HIGH
⑧	42	<i>LIRIOPE MUSCARI</i>	LILLYTURF	GROUND COVER	1 GAL.

LANDSCAPE PLAN WILMINGTON PAWVILLE

Approved Construction Plan

Name _____ Date _____

Planning _____

Public Utilities _____

Traffic _____

Fire _____

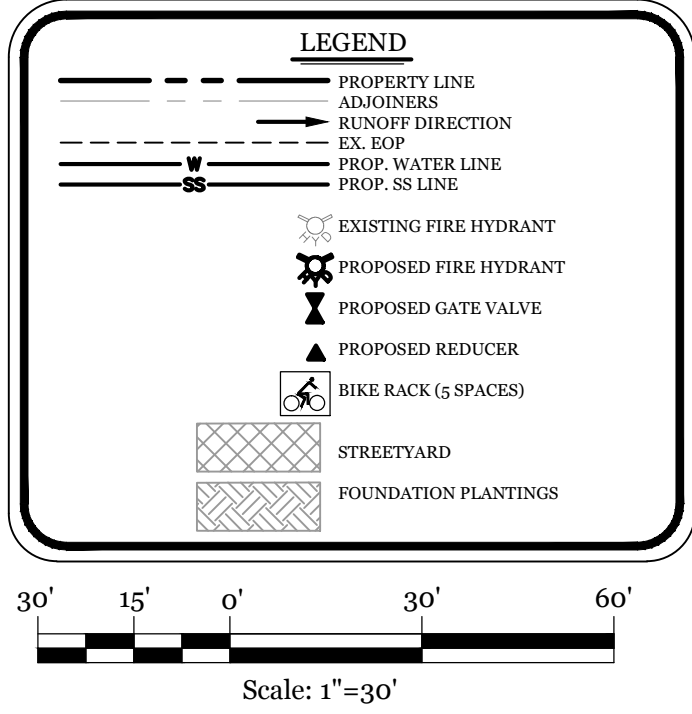
CITY OF
WILMINGTON
NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____



DATE: 11/29/18
SHEET: L1